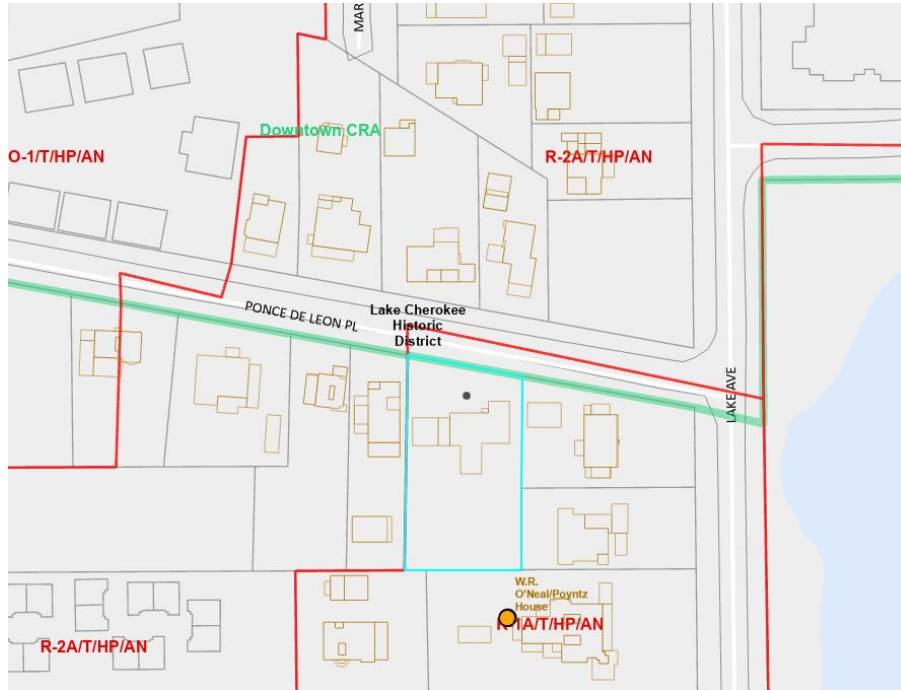


# 334 PONCE DE LEON AVENUE LAKE CHEROKEE HISTORIC DISTRICT



Location Map

 Subject Location

## Summary

<p><b>Applicant</b> Joseph Westlake Nylavae Raphael 533 Lake Avenue Orlando, FL 32801</p> <p><b>Owner</b> Joseph Westlake Nylavae Raphael 533 Lake Avenue Orlando, FL 32801</p> <p><b>Project Planner</b> Jennifer Fritz-Hunter, AIA Historic Preservation Officer, Planner III</p> <p><b>Updated:</b> March 27, 2026</p>	<p><b>Property Location:</b> 334 Ponce DeLeon, Lake Cherokee Historic District, Commissioner District 4.</p> <p><b>Applicant's Request:</b> Major Certificate of Appropriateness request to demolish a non-contributing structure and build a new residential structure.</p> <p><b>Staff's Recommendation:</b> Approval of the request, subject to the conditions in this report.</p>	<p><b>Public Comment</b> Courtesy notices were mailed to property owners within 300 ft. of the subject property the week of March 16, 2026 and a placard advertising the HPB meeting was posted at the subject property. As of the published date of this report, staff has received no comments from the public concerning this request.</p>
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## HISTORIC AND SITE BACKGROUND

- The house is a non-contributing structure in the Lake Cherokee Historic District (1981)
- The lot is zoned R-1A/T/HP/AN and is a slight rectangle shape with an area of 0.4 acres.
- The lot is located on the south side of Ponce DeLeon Place between Lake Avenue and Delaney Avenue.
- The primary structure was built in 1949
- There is no Florida Master Site File
- Previous Certificates of Appropriateness:
  - Paint (2004)

## PROJECT OVERVIEW

This is a request for a Major Certificate of Appropriateness to demolish a non-contributing residence and to build a new Single Family Residence. The current Lots 8 and 9 would be re-platted to give additional square footage to 608 Lake and minimize the size of 334 Ponce DeLeon lot.

The application was reviewed by the Board in 2024 and approved after revisions but the approval has expired. In addition, as the owner went to finalize plans for 608 Lake, a manhole and sewer line was discovered running the length of the east property line of 334 Ponce DeLeon Place. In order to adjust the plans for 608 Lake, the applicant has chosen to adjust the plans for 334 Ponce DeLeon as well.

A courtesy review occurred at the February 2026 HPB meeting and the board deferred the application so a Design Review Subcommittee could work with the applicant for further design alterations. Overall the board was concerned about multiple driveways in a row, the interior garage, setbacks, and the house being undersized.

The Design Review subcommittee met with the applicant on Monday, February 22. Suggestions for the applicant included:

1. Shift the garage backwards on the 608 lot to provide a deeper lot on 334 Ponce. It was discussed that there is a 15 ft requirement to get equipment behind the garage to the sewer manhole. The garage is currently shown at over 23 ft so there is room to shift it to the south approx. 5ft-8ft.
2. Flip the house and driveway at 334 Ponce to avoid having 3 driveways in a row.
3. Separate the garage from the main structure. It does not have to be built, but it should not be inside the primary residence.
4. Move the main structure at 334 Ponce forward to 31 ft to match the adjacent non-contributing house and provide more room behind the structure. The underlying zoning rear setback can be reduced by the HPB and the lot would be conforming. The structure was shown at 36 ft.
5. Minimize the depth of the parking pad to 24 ft.

The applicant was unwilling to make any of the suggested changes to bring the project into compliance with the HP Standards. Instead the client has proposed 3 alternative options. However, none of the options address the multiple driveways next to each other or internal garage.

Option A: The width and placement of the (2) additional driveways shift in relation to each other but overall no change in the void between the new house and the existing garage at 602 Lake.

Option B: Keeping the shifted driveway positions from Option A, this option moves the house to the east 3 ft. This still leaves a very large void between the new house and the existing garage at 602 Lake.

Option C: Keeping the shifted driveways from Option A, the applicant proposes a 1 story screened room on the east side of the house. While this reduces the void some, it does not alter the 3 driveways in a row.

All 3 options include a 4 ft tall solid wall that runs parallel to the front façade with gates at the driveways. While creating separation from the individual lots, the walls do not fill the void created by having multiple driveways next to each other.

At the chairperson's request, staff surveyed the Lake Cherokee Historic District and found no examples of 3 driveways in a row nor are there any internal garages on contributing structures in the district.

# CONDITIONS OF APPROVAL

**Subject to the following conditions, the proposal is consistent with the requirements for approval contained in Sections 62.201 and 62.706 of the Land Development Code (LDC).**

1. All changes to this proposal shall be reviewed and approved by HPB Minor Review Committee prior to permitting. Major modifications may require additional HPB approvals.
2. HPB approval does not grant permission to commence construction activity. All necessary permits must be obtained prior to commencement of construction activity.
3. HPB Construction Observation. Prior to the commencement of vertical construction the general contractor, developer and architect must schedule a coordination meeting with HPB Staff to review the HPB conditions of approval and the HPB review process for any proposed changes that may occur during construction. The general contractor must schedule periodic meetings with the HPB staff as needed to update staff on the project progress and potential issues complying with the HPB conditions of approval.
4. The house shall be moved north 5 ft for a front setback of 31 ft to match the adjacent structure to the west.
5. The driveway shall be moved to the west side of the house.
6. The HPB approves a rear setback reduction to allow the structure to be less than 25 ft from the rear lot line.
7. The garage doors are removed from the side of the structure and the garage space is converted to interior living area.
8. No garage is required to be built at this time. However, if the existing structure was centered on the lot, a future garage could be built.
9. The front porch is 1 story or the roof of the second level is separate from the main roof structure.
10. All windows shall have dimensional exterior, interior and between the glass muntins to simulate historic wood double hung divided light windows and shall have mullions between ganged windows to match the existing windows on the accessory structure.
11. Windows shall be inset (not nailing fin) to be similar to historic wood windows and be consistent on both first and second floors.
12. All window and door specifications shall be submitted to staff for minor review as a separate process during permitting. Vinyl windows are not appropriate for use in this historic district.
13. Final Site plan follows all engineering standards.
  - A. This site is not exempt from substantial enlargement or substantial improvement requirements because it is non-contributing.
  - B. Provide ISR to the engineering department during permit review.
  - C. Storm water swales may not be located in the front yard.
14. The HPB waives the 180 day waiting permit for the demolition permit.
15. The demolition permit shall not be approved until the building permit is issued.
16. The lot must be replatted per city ordinances.

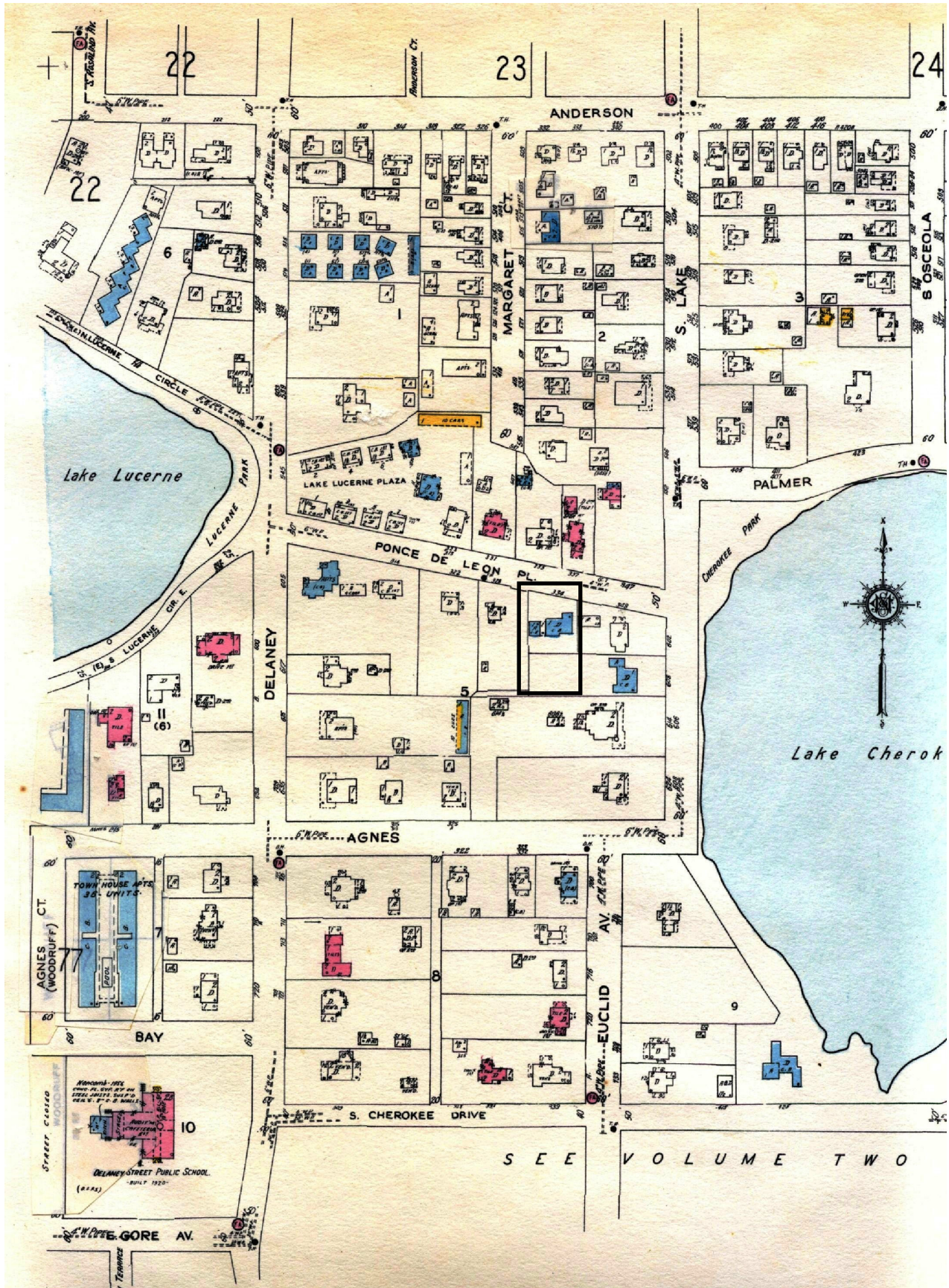
## FLORIDA MASTER SITE FILE INFORMATION



The site was surveyed in 1980. No survey form was completed as the structure was less than 50 years old at the time. The neighborhood survey says, "This one story ranch style house with hipped roof and integral two car garage has a rambling layout emphasized by wall panels of coursed reddish stone alternating with smooth light colored painted masonry, and large glassed openings. This house is one of the best examples of its style in the neighborhood." The home was built by Coy Jamerson a prominent mid-century developer responsible for Coytown Shopping Center and the subdivision behind it.

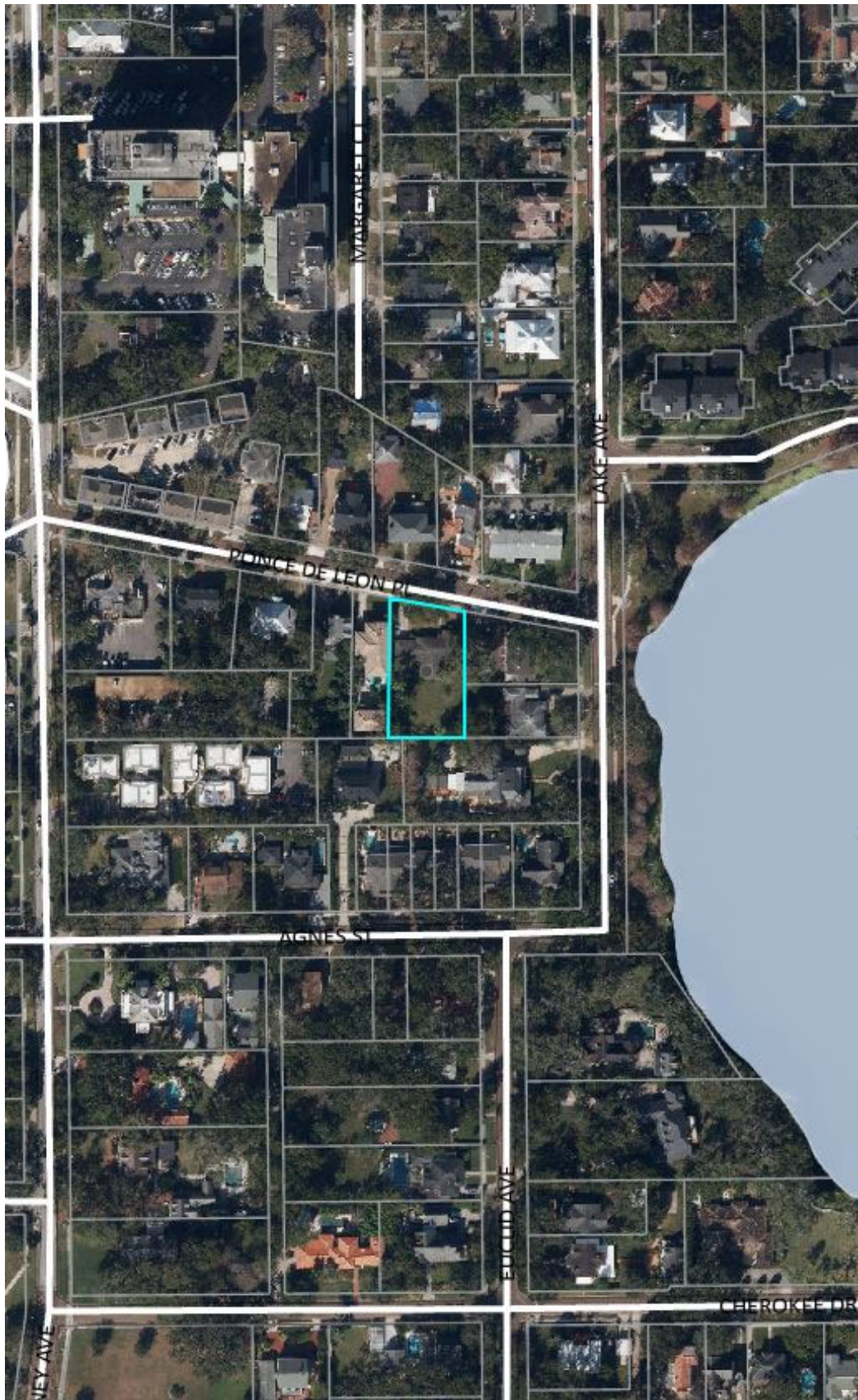
The residence was built for Dr David Y and Mrs. Nell Hicks. Dr. Hicks was a WW2 veteran serving as the Chief of General Surgical team in the European Theatre. He moved to this residence after the war and entered into private practice in general surgery. Dr. Hicks died in 1975. Mrs. Hicks, a nurse, lived there until her passing in 1988. The house passed to their son, John Hicks who sold it in 2004 to the Houstons.

# SANBORN INSURANCE MAP CIRCA 1956





# AERIAL VIEWS



# EXISTING SITE PHOTOS- SUBJECT PROPERTY



Looking at subject property



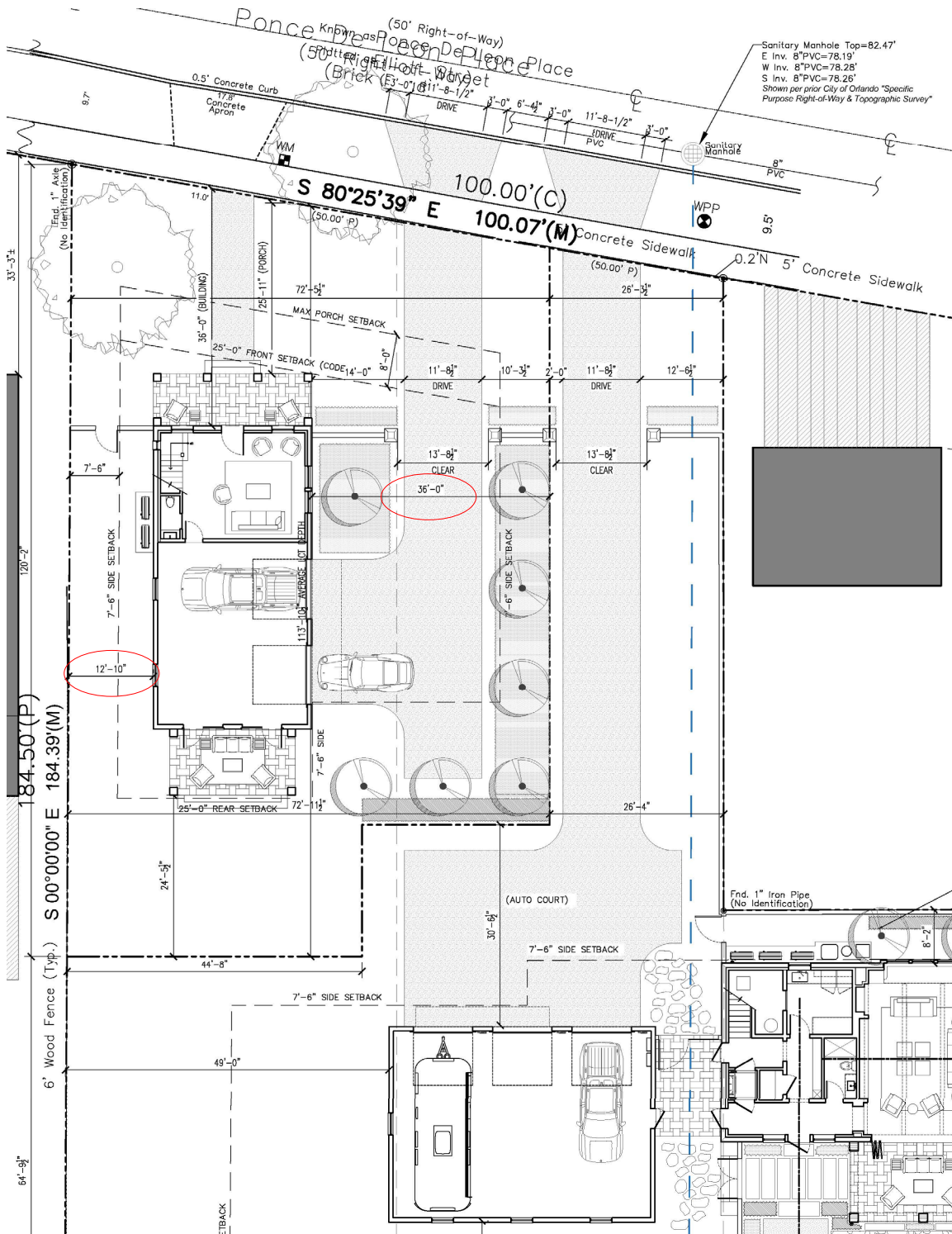
# OPTION A FRONT ELEVATION



334 PONCE DE LEON PL- FRONT ELEVATION  
(OPT A-ORG.)

Option A has no change to the architecture or placement of the house on the lot. Walls have been added parallel to the front face. This elevation leaves off the additional 30 ft to the left that is vacated by the driveway to 608 Lake Ave. Additionally, the applicant places the garage for 608 Lake in that void but the structure is over 120 ft back from the sidewalk.

# OPTION B



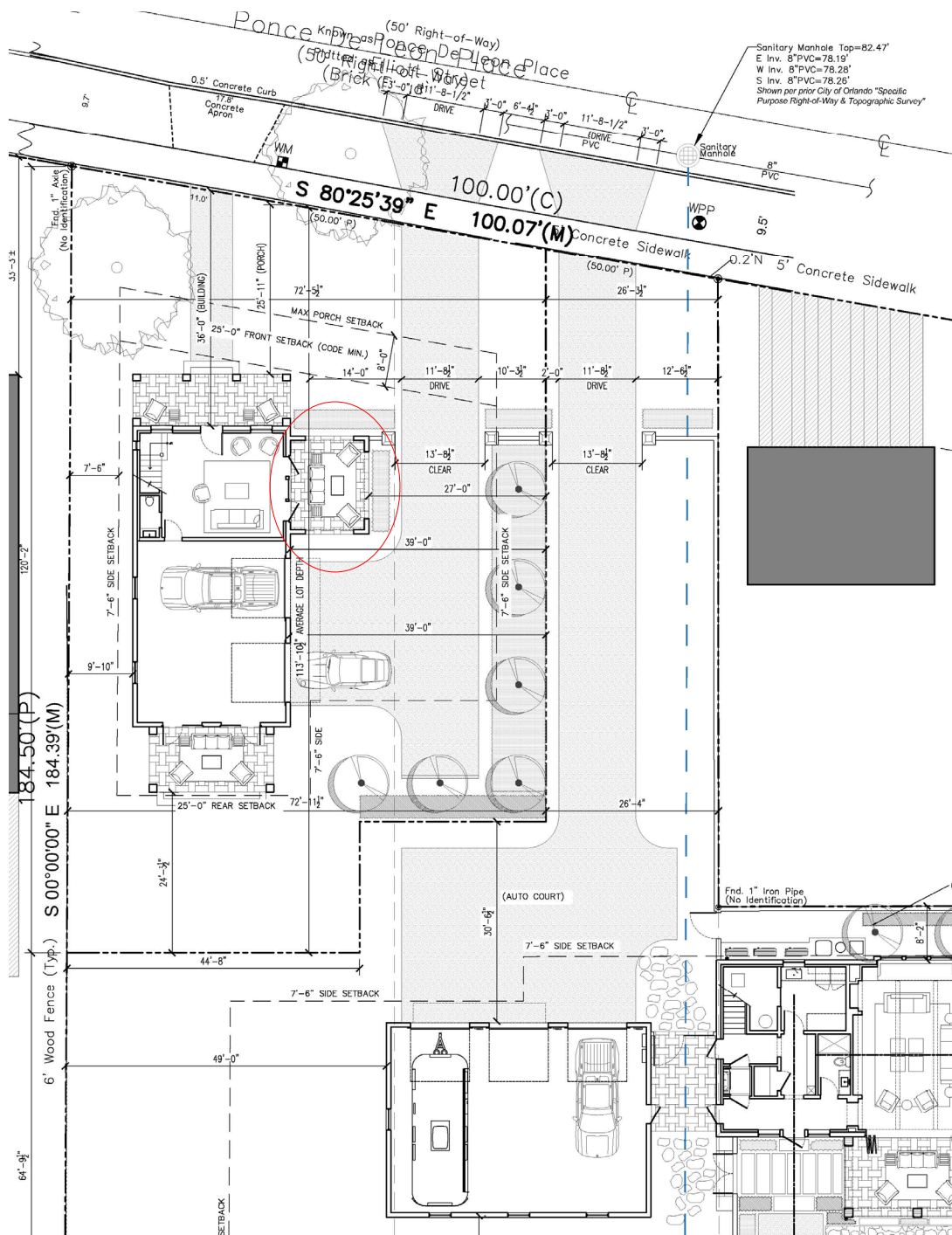
- Leaving the shifted driveways from Option A in place, the only change in this proposal is to move the house 3 ft to the east. This reduces the void between the house and the garage to 67 ft.
- No change to the internal garage.

# OPTION B FRONT ELEVATION



Option B has no change to the architecture or placement of the house on the lot. Walls have been added parallel to the front face. This elevation leaves off the additional 30 ft to the left that is vacated by the driveway to 608 Lake Ave. Additionally, the applicant places the garage for 608 Lake in that void but that structure is over 120 ft back from the sidewalk.

# OPTION C



- Leaving the shifted driveways from Option A in place, the only change in this proposal is to add a 1 story screened area to the east. This reduces the void between the house and the garage from 70 ft to 57 ft.
- No change to the internal garage.

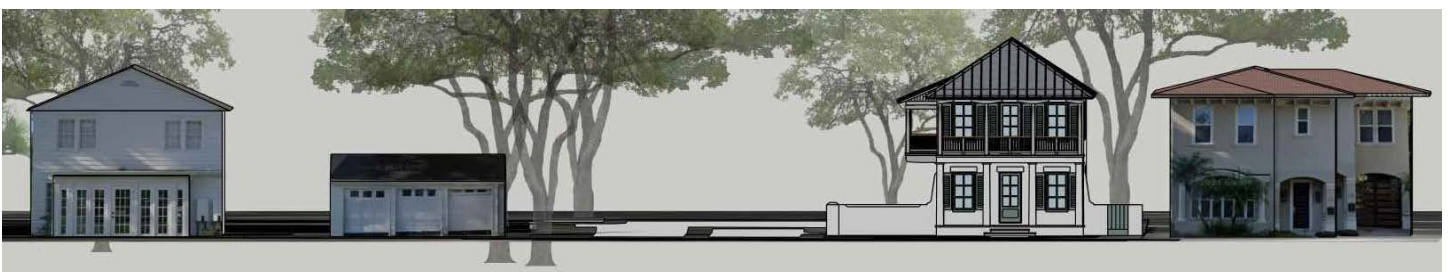


# SETBACK STUDY



There are three contributing structures with varying setbacks increasing towards Lake Avenue. The average setback for the block face is 28 ft. However, the setbacks are increasing as the lots move towards Lake Ave and the adjacent house at 332 Ponce DeLeon, constructed in 2005 was set at 31 ft setback. Staff is recommending the new house at 334 Ponce DeLeon be setback 31 ft instead of 36 ft proposed. As with past board discussions, staff is concerned that the 2 story porch will read as the front façade given its mass. The board could consider a 1 story porch or separate the roof structure of the upper porch to lighten the mass of the continuous roof.

# HEIGHT STUDY



Staff requested an elevation comparison of the proposed structure with the other contributing properties on Ponce DeLeon Place. This is what the applicant provided. 602 Lake, while contributing does not face Ponce DeLeon Place. 331 Ponce DeLeon while on the block face is non-contributing. This exhibit does not provide enough information to compare the proposed house with other contributing structures on the block face, but this exhibit clearly shows the wide void provided with the two proposed driveways are adjacent to each other. Option B closes the void by 3 ft. Option C proposed closes the void by 13 ft.

# ARCHITECTURE



Windsor, Florida



Rosemary Beach, Florida



Tampa, Florida by CJSP



Seaside, Florida by CJSP

The proposed style matches the style of 608 Lake. The house retains elements from various contemporary coastal communities in Florida, but not Orlando or the local historic districts specifically. It draws from traditional regional architecture like Florida vernacular but adds other styles like Mediterranean Revival, and other details for an eclectic mix. The style is more reminiscent of traditional architecture found in Savannah or Charleston. This style interpretation has been made popular by the architecture seen in the panhandle seaside resort communities of Alys Beach in Rosemary Beach, Seaside or Windsor.

# FRONT ELEVATIONS OF HOUSE



Option A



Option B



Option C with screened room

# SIDE ELEVATION OF HOUSE



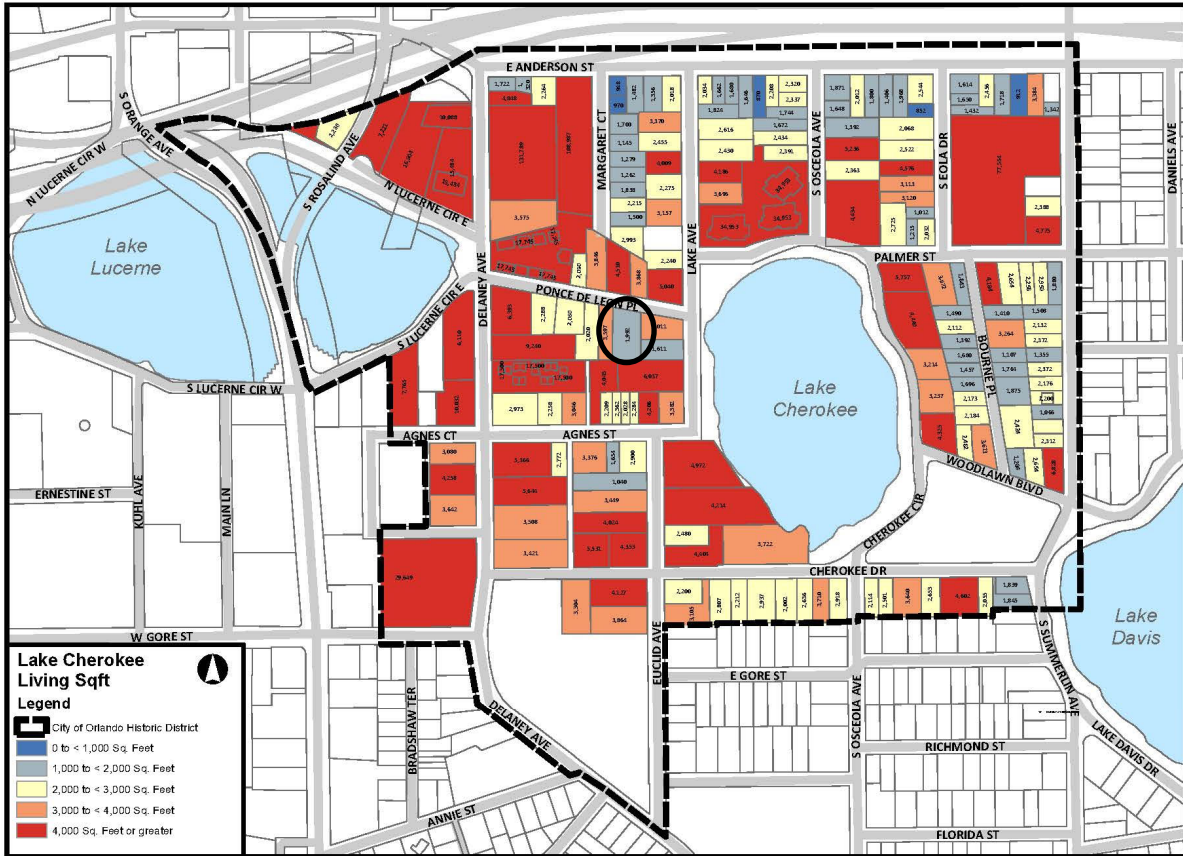
334 PONCE DE LEON PL- SIDE ELEVATION

Option A/B



Option C with screened room

# LIVING SQUARE FOOTAGE COMPARISON



### Analysis:

- Per the Property Appraiser, the house currently has 1,992 sqft. of living space.
- The single family residence will provide 1,515 sq ft total proposed living square footage.
- The color indicator would stay GREY, which is smaller than the size of the surrounding contributing properties in the district.
- The proposed FAR would be .20.
- The house is undersized for the neighborhood.



# STAFF ANALYSIS

## SECRETARY OF THE INTERIOR'S "STANDARDS FOR REHABILITATION"

Considering an application for a Certificate of Appropriateness, the Historic Preservation Board shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale and site plan, and in so doing, the following U.S. Secretary of the Interior's "Standards for Rehabilitation" found in **Section 62.201** of the City's Land Development Code, shall be considered by the Board in passing upon such applications:

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.  
**The property will remain in residential use.**
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.  
**As a non-contributing structure this standard does not apply.**
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.  
**As a non-contributing structure this standard does not apply.**
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.  
**As a non-contributing structure this standard does not apply.**
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.  
**As a non-contributing structure this standard does not apply.**
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.  
**As a non-contributing structure this standard does not apply.**
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that could damage the historic building materials shall be discouraged.  
**As a non-contributing structure this standard does not apply.**
8. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to any project.  
**There are no known archaeological resources on site.**
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural materials, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or immediate environment.  
**Standard not Applicable.**
10. Contemporary design for new construction shall not be discouraged when such new construction is compatible with the size, scale, color, material, and character of the property, neighborhood or immediate environment.  
**The design of the new residence with a third driveway in a row and an internal garage is not compatible with the size, scale, color, material, and character of the neighborhood or immediate environment. Staff could find no examples of 3 driveways in a row or an internal garage among the contributing properties in the historic district.**
11. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were removed in the future, the essential form and integrity of the structure would be unimpaired.  
**Standard not applicable.**

## ADDITIONAL STANDARDS

Staff has applied the following Sections of the Land Development Code to analyze Case HPB2026-10050.

### Section 62.706 New Construction

The criteria in Section 62.706 are used to evaluate new construction:

Height: The maximum height of new buildings shall be the same as permitted in the zoning district.

**The height of the proposed house is approx. 27'-0". Staff requested a comparison with adjacent contributing structures and it was not provided.**

Scale and Massing: In areas zoned for residential use, the scale and massing of new structures and their architectural elements shall be similar to the contributing structures in the HP Overlay district. Any new structure which exceeds 50 linear feet along any street frontage shall minimize the facade's mass by adding projections and recesses to make the structure similar in scale to contributing structures in the HP Overlay district.

**The house is narrow as proposed in option A but better with the screened room in Option C. Staff is recommending the house be placed 31 ft from the front lot line to match the adjacent structure to the west. To balance the projecting 2 story porch either separate the porch roof from the main roof or reduce the porch to 1 story.**

Fenestration Patterns: Although they may appear in groupings, individual windows shall have a vertical emphasis similar to the windows found on contributing buildings in the HP Overlay district.

**The windows placement and vertical emphasis is consistent with the contributing structures in the neighborhood.**

Setback: Minimum and maximum setbacks for new structures (including both principal and accessory structures) must conform to the minimum and maximum setback standards applicable to the underlying zoning district as provided in Chapter 58, except that a lesser or greater setback may be approved by certificate of appropriateness upon a finding that the lesser or greater setback is consistent with the prevailing pattern of contributing development in the vicinity of the proposed work and where a lesser setback would not result in buildings (whether principal or accessory) being within 10' of each other (without regard for whether or not the buildings are located on different lots), nor any building (whether principal or accessory) being within 5' of a lot line. In zoning districts with no maximum setback standard, setbacks must be no greater than the prevailing pattern of contributing development in the vicinity of the proposed work.

**The applicant meets all required setbacks and is not requesting any relief. However, staff is recommending a rear setback reduction to allow the house to shift east and forward to accommodate a driveway on the west side. This follows the historic pattern of development in the neighborhood.**

Orientation: At least one public entrance of each new building shall be oriented towards the front lot line or street side lot line. The front door to a new building shall be articulated on the principal facade with covered porches, porticos, stoops, pediments, door surrounds or other architectural forms. The front and street side exterior walls of residential structures shall each contain a minimum of 15% of transparent or translucent materials on each story below the roof line. The house has a covered porch and entrance door facing the street.

**The principal façade of the house is oriented correctly. However, the garage is not placed appropriately. It should be a separate accessory structure at the rear of the lot. The applicant is not required to build a garage at this time, but they should not be permitted to construct an internal garage. There are no internal garages on contributing structures in the historic district.**

Materials: The materials and textures on new structures shall be similar to the materials and textures of contributing structures in the HP Overlay district.

**The proposed materials will be similar to contributing structures in the HP Overlay district.**

Roof Shapes: Roof shapes, pitches and materials on new buildings shall be similar to the roof shapes, pitches and materials of contributing buildings in the HP Overlay district.

**The proposed roof shape will be similar to other contributing buildings but the front porch roof should be separate or similar to the rear porch roof.**

## ADDITIONAL STANDARDS

Rhythm of Solids and Voids: New structures shall be designed and positioned on their lots in such a way so that they reflect the regular pattern of structures and open space along the block face.

**The proposed location of the garage does not follow the regular pattern of structures. Additionally, 3 driveways in a row are not found in the district. Staff is recommending the garage be removed from its internal location and the space is used for living area. The driveway is shifted to the west side of the lot and the house is centered on the lot.**

Style: New construction may be influenced by, but not duplicate, historic styles. If an historic style influences new construction, that style must already exist or have existed in Orlando. Contemporary design shall be permitted provided that it meets the requirements of this section.

**The proposed style does not exist and has never existed in Orlando. The contemporary design does not meet the other requirements of this section.**

Awnings. Awning shapes, proportions, design, color, lettering, and hardware must be in character with the style of the building. Awnings must reflect the architectural forms of the door and window openings of the building to which they are attached. The minimum height of awnings on non-residential buildings must be 8' from the lowest point to the sidewalk and may not extend more than 6' from the face of the structure. The highest point of a first floor awning on a non-residential building may not be higher than the midpoint of the space between the second story window sills and the top of the first floor storefront window or transom.

**No awnings are proposed.**

Marquees. The design, materials, color, lettering, and hardware of a marquee must reflect the style of the building. The highest point of a marquee or its superstructure may not be higher than the midpoint of the space between the second story window sills and the top of the first floor storefront window or transom. Marquees on non-residential buildings must span the entire facade or entrance. Only one marquee is allowed on each facade. Minimum height of a marquee on a non-residential building must be 8' from the lowest point to the sidewalk.

**No marquees are proposed.**

Signs. In addition to the general sign regulations of Chapter 64, signs must be in character with the new structure. In the Downtown Facade Design Guideline Area (as defined in section 62.503), signs must also comply with the applicable standards of the "Facade Design Guidelines" prepared for the City of Orlando Downtown Retail District by Boyle Engineering Corporation.

**No signs proposed.**

Site improvements. Chain link fences visible from a public right-of-way or park are prohibited.

**The applicant is proposing a 4 ft tall solid garden wall to run parallel to the front facade of the house with a gate at the driveway.**

Tandem Single Family Developments. Tandem Single Family Developments is prohibited.

**Standard Not Applicable.**

## Summary of Staff Analysis

Based on the above analysis and subject to the conditions listed on page 3, staff recommends Approval of the request for a Major Certificate of Appropriateness to demolish the existing non-contributing structure and build a new single family residence.